

# Franklyn James



## 6 Burrells Wharf Square

, London, E14 3TW

Offers In Excess Of £600,000

Located in a historic development on a remarkable site along the Thames opposite Greenwich is this fantastic two bedroom, two bathroom apartment with sensational river views. The property offers the best of riverside living with spacious and versatile bedrooms and a generous living and dining area, all of which have direct access to the private river-facing balconies; as well as a separate kitchen with extensive Thames views and two modern bathrooms. The property is in excellent decorative order, enjoys an abundance of daylight by virtue of its south-facing aspect, and benefits from an allocated space in the secure underground car park.

Living in Burrells Wharf offers an exceptional combination of the old and the new. Originally a historic shipyard, this development now offers a luxury lifestyle with a great community feel. The estate is centred around a beautiful square fringed by well-planted borders, providing the perfect location for summer barbecues, and benefits from a 24-hour concierge service as well as a residents' gym, swimming pool, sauna, jacuzzi and function room. A stunning place to call home!

Masthouse Terrace Pier is located beside the estate, offering the most scenic commute into central London with the Thames Clipper, and so is a Santander Cycles dock, should this be of preference. Within a short walk are the green spaces of Millwall Park, Mudchute Farm and Island Gardens, and the nearby foot tunnel provides easy walking access to the centre of Greenwich. Island Gardens and Mudchute DLR Stations are both within a 10 minute walk, offering a short journey to Canary Wharf with its many shopping opportunities and eateries.

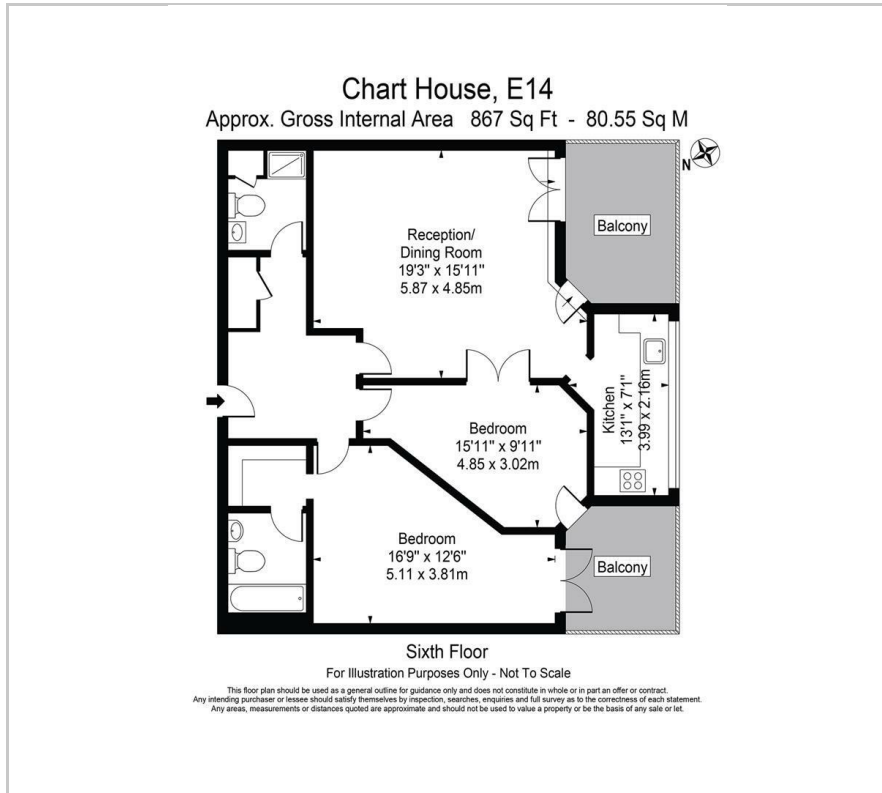
council tax F  
£5,800 Ground rent

- River facing two bedroom apartment
- Two modern bathrooms
- Two private balconies with direct river views
- Long lease (965 years remaining) and share of freehold
- Allocated secure underground parking
- Residents' gym, swimming pool, sauna and jacuzzi
- 24-hour concierge and residents' function room
- Fantastic riverside location with great transportation links
- EWS1 compliant

Please contact our Westferry Sales Office on 02070056080 if you wish to arrange a viewing appointment for this property or require further information.



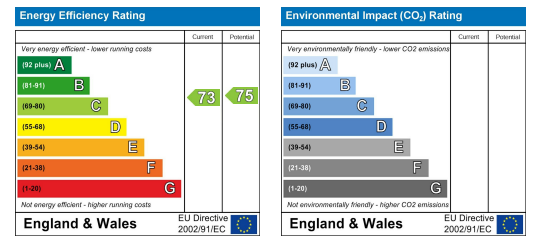
# Floor Plan



# Area Map



# Energy Efficiency Graph



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